

FINAL SUBDIVISION MAP OF  
**FIDDLETOWN RANCHETTES**

A PARTNERSHIP 308-QR-550

BEING A PORTION OF SECTION 36, T.8 N., R.11 E. & A PORTION OF SECTION 31, T.8 N., R.12 E., M.D.M.—AMADOR COUNTY, CA.  
**TOMA & ANDERSON**—LICENSED LAND SURVEYORS—41 SUMMIT ST. JACKSON, CALIF.

DATE: DECEMBER, 1978

SCALE: 1"= 200'

**OWNER'S CERTIFICATE**

The undersigned hereby certifies that he/she is the owner of the real property shown herein as the subdivision and that he/she does hereby consent to the preparation and recordation of this map, and, in consideration for and as a condition of the approval of said map he/she does hereby:

1. Make an irrevocable offer to dedicate to the public for its use and convenience an easement for use as a public highway over each and every part of said subdivision designated on this map as a "road-utility easement" or "access easement"; and
2. Make an irrevocable offer to dedicate to the public for its use and convenience as a public utility easement in, on, over, above, or under each and every part of said subdivision designated on this map as a "road-utility easement" or "utility easement" or "access easement" and on, over, across, and through those strips of land lying 10 feet on each side of all side lot lines and rear lot lines and 20 feet along the exterior boundaries of this subdivision and front lot lines, an easement for said County or its designees at any time, or from time to time, to enter, construct, maintain, operate, replace, remove, renew, enlarge, and protect from hazards sanitary sewers, storm drains, lines or pipe, conduits, cables, wires, poles and necessary fixtures and equipment therefor, to connect any public utility service to any parcel or lot inside or outside of said subdivision and/or to any main or trunk line or system; and
3. Promise, covenant and agree to and with said County to grant or reserve a non-exclusive easement for road purposes and for ingress and egress over all that portion of land designated as a "road-utility easement" or "access easement" to the record owners of each lot or parcel in said subdivision at such time as said lots are sold or fee title conveyed and that none of said lots shall be leased, sold or conveyed unless such non-exclusive easement for road purposes and ingress and egress is granted or reserved prior to or concurrent with said conveyance or sale (unless said portion of land has been dedicated to and accepted by said county as a public highway) so as to provide access for said owner and their agents, employees, invitees, and licensees between said parcels or lots and the nearest county road and between and among all said parcels or lots within said subdivision.
4. Make an irrevocable offer to dedicate to the public for its use and convenience:
  - (a) Easements for drainage purposes on, over, across, under and through all natural drainage courses and those portions of land shown hereon designated as drainage easements; and
  - (b) Easements for right-of-way and utility maintenance 5 feet in width outside of but adjacent and contiguous to the designated right-of-way of all roads offered for dedication shown hereon, for the express purpose of county's or other authority's performing all necessary work to protect the roadway and maintain the cut and fill slopes. The portions hereon covered by said easements shall be kept clear.Said offers to dedicate and agreements and covenants are irrevocable and shall run with the land and be binding upon any future owners, encumbrancers, successors, heirs or assigns, and shall continue in effect until expressly and lawfully abandoned and terminated by the board of supervisors of said county. Said board in rejecting any and all of said offers to dedicate shall retain the right to accept by resolution any or all said offers at any time thereafter.

Mario Bertone  
MARIO BERTONE

**CLERK OF THE BOARD OF SUPERVISORS CERTIFICATE**

I HEREBY CERTIFY THAT THE BOARD OF SUPERVISORS OF AMADOR COUNTY HAS APPROVED THIS MAP OF FIDDLETOWN RANCHETTES UNITS 1 AND 2 AND HAS ACCEPTED ON BEHALF OF THE PUBLIC ALL LANDS, RIGHT-OF-WAYS AND EASEMENTS HEREON OFFERED FOR DEDICATED FOR LIGHT AIR AND PUBLIC UTILITIES. HOWEVER, THERE IS A SPECIFIC REJECTION OF THE OFFER OF DEDICATION OF SHOT DRIVE, MARY LANE, NEMECHEK COURT, BERTONE DRIVE, DEMAY COURT, AND LUEDERS COURT AND DRAINAGE EASEMENT PROVISIONS AS INDICATED HEREON, UNTIL SUCH TIME AS SAID DRAINAGE EASEMENTS AND HERE MENTIONED ROADWAYS ARE ACCEPTED BY RESOLUTION OF SAID BOARD OF SUPERVISORS.

DATED: APRIL 27, 1979

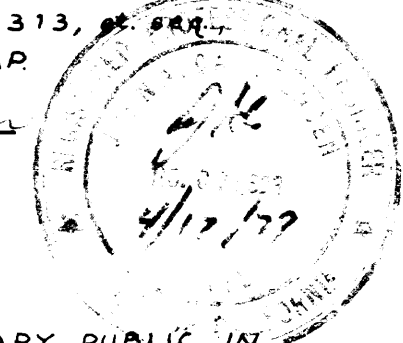
Shelley A. Johnson  
CLERK OF THE BOARD OF SUPERVISORS

**TRUSTEE'S CERTIFICATE**

ARGONAUT TITLE CO., A CALIFORNIA CORPORATION, A TRUSTEE UNDER THAT CERTAIN DEED OF TRUST RECORDED IN THE OFFICE OF THE RECORDER OF AMADOR COUNTY IN BOOK 303 OF OFFICIAL RECORDS AT PAGE 313, 8-888, HEREBY CONSENTS TO THE RECORDATION OF THIS MAP

Steve Martin  
PRESIDENT

William Alexander  
VICE PRESIDENT



**NOTARY'S CERTIFICATE**

STATE OF CALIFORNIA } ss  
COUNTY OF AMADOR }  
ON MARCH 14, 1978 BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED STEVE MARTIN, KNOWN TO ME TO BE THE PRESIDENT AND WILLIAM ALEXANDER, KNOWN TO ME TO BE THE VICE PRESIDENT OF THE CORPORATION THAT EXECUTED THE WITHIN INSTRUMENT KNOWN TO ME TO BE PERSONS WHO EXECUTED THE WITHIN INSTRUMENT ON BEHALF OF THE CORPORATION HEREIN NAMED AND ACKNOWLEDGED TO ME THAT SUCH CORPORATION EXECUTED THE WITHIN INSTRUMENT PURSUANT TO ITS BYLAWS OR A RESOLUTION OF ITS BOARD OF DIRECTORS.

Shelley A. Johnson  
NOTARY PUBLIC IN AND FOR  
SAID COUNTY AND STATE

**NOTARY'S CERTIFICATE**

STATE OF CALIFORNIA } ss  
COUNTY OF AMADOR }  
ON December 9, 1978 BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED MARIO BERTONE, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED THAT HE EXECUTED THE SAME.

Shelley A. Johnson  
NOTARY PUBLIC IN AND FOR  
SAID COUNTY AND STATE

**ENGINEER'S (SURVEYOR'S CERTIFICATE)**

I CIRO L. TOMA, A LICENSED LAND SURVEYOR OF THE STATE OF CALIFORNIA, HEREBY CERTIFY THAT THIS PLAT OF FIDDLETOWN RANCHETTES UNIT 1 AND 2 WAS MADE UNDER MY DIRECTION AND IS TRUE AND COMPLETE AS SHOWN AND THAT THE MONUMENTS ARE OF THE CHARACTER AND DO OCCUPY THE POSITIONS INDICATED AND THAT SAID MONUMENTS ARE SUFFICIENT TO ENABLE THIS SURVEY TO BE RETRACED. ALL MONUMENTS WILL BE SET ON OR BEFORE OCT. 17, 1979.

Ciro L. Toma  
CIRO L. TOMA L.S. 3570

**COUNTY SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY THAT I HAVE EXAMINED THIS PLAT OF FIDDLETOWN RANCHETTES UNITS 1 AND 2 AND THAT IT IS SUBSTANTIALLY THE SAME AS IT APPEARED ON THE TENTATIVE MAP AND ANY APPROVED ALTERATIONS THERE-TO. THAT ALL PROVISIONS OF CHAPTER 1536 OF THE GOVERNMENT CODE AS REFERRED TO IN SECTION 66492 AND OF ANY LOCAL ORDINANCES APPLICABLE AT THE TIME OF APPROVAL OF THE TENTATIVE MAP HAVE BEEN COMPLIED WITH AND THAT THE ACCOMPANYING PLAT IS TECHNICALLY CORRECT.

DATED: 17 April 1979

John A. Carstensen  
AMADOR COUNTY SURVEYOR  
JOHN A. CARSTENSEN R.C.E. 22323

**TAX COLLECTOR'S CERTIFICATE**

I HEREBY CERTIFY THAT THERE ARE NO LIENS FOR UNPAID STATE, COUNTY, OR LOCAL TAXES OR LOCAL ASSESSMENTS AGAINST THE LAND INCLUDED IN THIS SUBDIVISION OR ANY PART THEREOF EXCEPT TAXES OR SPECIAL ASSESSMENTS NOT YET PAYABLE.

DATED: MARCH 15, 1979

John A. Carstensen  
AMADOR COUNTY TAX COLLECTOR

**COUNTY CLERK'S CERTIFICATE**

I HEREBY CERTIFY THAT ALL PROVISIONS OF CHAPTER 2, DIVISION 4, PART 2 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA AND OF ANY LOCAL ORDINANCE PERTAINING TO DEPOSITS REQUIRED AT THE TIME OF APPROVAL BY THE BOARD OF SUPERVISORS OF THIS MAP HAVE BEEN COMPLIED WITH.

DATE: MARCH 15, 1979

Shelley A. Johnson  
AMADOR COUNTY CLERK

**RECORDER'S CERTIFICATE**

FILED THIS 27TH DAY OF APRIL 1979 AT 10:52 A.M. IN BOOK 4 OF SUBDIVISION MAPS AT PAGE 57 AT THE REQUEST OF ARGONAUT TITLE COMPANY, TITLE TO LAND INCLUDED IN THIS SUBDIVISION BEING VESTED AS PER CERTIFICATE NO. 306 ON FILE IN THIS OFFICE.

FEE: \$13.00 PL

Shelley A. Johnson  
AMADOR COUNTY RECORDER

BY \_\_\_\_\_  
DEPUTY

**NOTE:**

THERE IS A SOIL REPORT ON THIS PROPERTY FILED IN THE OFFICE OF THE AMADOR COUNTY SURVEYING & ENGINEERING DEPARTMENT.